



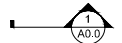

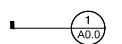














## SYMBOL LEGEND

NORTH ARROW		ALIGN FACE OF NEW FINISH W/ ADJACENT EXISTING FINISH FACE	
INTERIOR ELEVATION TARGET		DRAWING BREAKLINE	
SECTION TARGET		EXISTING DOOR TO REMAIN	
DETAIL TARGET		EXISTING DOOR TO BE REMOVED	
ROOM NAME & NUMBER	OFFICE 	NEW DOOR OPENING	
REVISION TARGET		EXISTING WINDOW TO REMAIN	
DOOR NUMBER TARGET		EXISTING WINDOW TO BE REMOVED	
WINDOW NUMBER TARGET		NEW WINDOW OPENING	
FLOOR FINISH TARGET		FLOOR FINISH TRANSITION TARGET	
ENLARGED PLAN TARGET			

## DRAWING INDEX

### ARCHITECTURAL

A0.01A COVER PAGE, PROJECT INFORMATION, ETC.  
A0.01B GENERAL NOTES & ABBREVIATIONS

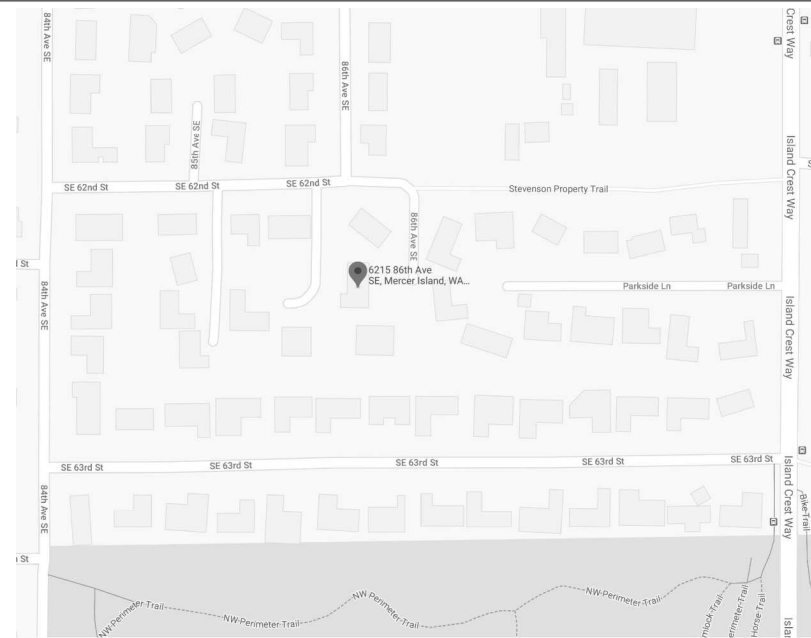
S1 STRUCTURAL PLAN  
S2 STRUCTURAL DETAILS  
S3 STRUCTURAL NOTES

A1.01 SITE PLAN  
A2.01 DEMOLITION PLAN  
A3.01 CONSTRUCTION PLAN

A3.10 EXTERIOR ELEVATIONS - EXISTING  
A3.11 EXTERIOR ELEVATIONS - PROPOSED

A4.01 REFLECTED CEILING PLAN

## LOCATION MAP



## SCOPE OF WORK DESCRIPTION

KITCHEN AND FAMILY ROOM REMODEL INCLUDING BUMP  
OUT OF ONE EXTERIOR WALL AND ASSOCIATED  
STRUCTURAL UPDATES.

## PROJECT TEAM

### OWNER

SARAH GELMAN AND PAKER EBERHARD  
6215 86TH AVE SE  
MERCER ISLAND, WA 98040

eberhard79@gmail.com  
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### DESIGNER

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2636 NE SANDY BLVD, SUITE B  
PORTLAND, OR 97232

CASEY KEASLER  
casey@casework.it  
(503) 919-1841

JORDAN ALLEN  
jordan@casework.it  
(808) 635-6365

### STRUCTURAL ENGINEER

CONSULTING STRUCTURAL ENGINEERING SERVICES  
6311 17TH AVE NE  
SEATTLE, WA 98115

JOHN S. APOLIS  
john@cse-engineering.com  
(206) 527-1288

## PROPERTY INFORMATION

ADDRESS: 6215 86TH AVE SE MERCER ISLAND, WA 98040

YEAR BUILT: 1961

ZONING: R 9.6

PLAN DISTRICT: MERCER ISLAND, KING COUNTY

SQUARE FOOTAGE: 3,550SF

VERSION:

PERMIT SET

DATE:

6.21.2021

SHEET NUMBER & TITLE:

A 0.01A  
COVER SHEET

**GENERAL NOTES**

- + IT IS THE RESPECTIVE GENERAL CONTRACTOR'S (GC) TRADE'S RESPONSIBILITY TO VERIFY THAT ALL INFORMATION WITHIN LISTED IS IN ACCORDANCE WITH EQUIPMENT USE & ACTUAL JOB SITE DIMENSIONS.
- + ALL DIMENSIONS & SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ONSITE & ADJUSTMENT TO FIT EXISTING CONDITIONS. DESIGNER MUST BE NOTIFIED OF ANY DISCREPANCY BEFORE PROCEEDING WITH WORK.
- + ALL DIMENSIONS WITHIN ARE FROM FINISH FACE OR CENTERLINE, UNLESS OTHERWISE NOTED.
- + ALL WRITTEN DIMENSIONS WITHIN TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- + DIMENSIONS PLACED ON ANY AS-BUILT DRAWINGS ARE NOTED AS FIELD MEASUREMENTS TO BE VERIFIED BY THE GC PRIOR TO BEGINNING THE REMODELING OR CONSTRUCTION PROCESS.
- + DESIGN PLANS PROVIDED ARE FOR THE FAIR USE OF THE CLIENT OR HIS/HER AGENT IN COMPLETING THE PROJECT LISTED WITHIN THE CONTRACT.
- + GENERAL CONTRACTOR & ALLIED TRADES ARE RESPONSIBLE FOR VERIFYING ALL PLANS HAVE NO ERRORS OR OMISSIONS PRIOR TO ORDERING MATERIALS OR BEGINNING WORK. GC SHALL NOTIFY DESIGNER IMMEDIATELY OF ANY CHANGES, ERRORS OR OMISSIONS.
- + GC IS RESPONSIBLE FOR THE JOB SITE, AND THE REPLACEMENT OR REMEDY OF FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP.
- + GC IS RESPONSIBLE FOR JOB SAFETY CONDITIONS, AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF ALL WORKERS & OCCUPANTS AT ALL TIMES.
- + GC TO PROVIDE PROJECT BIDDING, AS WELL AS ADMINISTRATE CONSTRUCTION SCHEDULE TO PROJECT COMPLETION.
- + ALL CONSTRUCTION WORK, MATERIALS & DESIGN PLANS SHALL CONFORM TO THE STANDARDS & REQUIREMENTS OF LOCAL BUILDING CODES, & ALL OTHER APPLICABLE FEDERAL OR MUNICIPAL BY-LAWS.
- + ALL DESIGN PLANS WITHIN MUST BE APPROVED BY AUTHORITIES HAVING PROPER JURISDICTION. APPLICABLE PERMITS MUST BE ISSUED PRIOR TO STARTING CONSTRUCTION.
- + ALL WORK MUST COMPLY WITH THE OWNER'S STRATA RULES & REGULATIONS FOR CONSTRUCTION. IT IS THE GC'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL BY-LAWS PERTAINING TO THE PROJECT. GC MUST ALSO MEET ALL NOTIFICATION REQUIREMENTS REGARDING ONSITE DELIVERIES, PARKING & WASTE DISPOSAL.
- + GC IS RESPONSIBLE FOR FIELD VERIFYING REQUIRED QUANTITIES ON ALL FINISH MATERIALS WITHIN.
- + GC TO PROVIDE NECESSARY PROTECTION TO PRESERVE EXISTING BUILDING FINISHES THAT MAY BE IMPACTED BY THE WORK ONSITE. THIS INCLUDES, BUT IS NOT LIMITED TO, EXISTING FLOORING, WALLS, FURNITURE, FIXTURES & APPLIANCES WITHIN APPLICABLE WORK AREAS.
- + DRAWINGS WITHIN INDICATE LOCATION, DIMENSIONS & TYPICAL DETAIL FOR CONSTRUCTION. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION, SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- + GC SHALL DO ALL CUTTING, CHASING, CORE-DRILLING, PATCHING & REPAIRING AS REQUIRED TO PERFORM ALL WORK THAT MAY BE INDICATED ON THE DRAWINGS WITHIN. ANY PATCHING & REPAIRING SHALL MATCH ADJACENT SYSTEMS, MATERIALS & FINISHES UNLESS OTHERWISE NOTED.
- + ALL WORK SHALL BE PERFORMED BY DULY LICENSED TRADESPEOPLE, AS REQUIRED BY STATE & LOCAL GOVERNMENT AGENCIES FOR EACH APPLICABLE TRADE.
- + GC SHALL PROVIDE STRUCTURAL BACKING & BLOCKING FOR ALL WALL MOUNTED FIXTURES, FINISHES & EQUIPMENT.
- + GC SHALL INSTALL ALL MATERIALS & EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- + GC SHALL PROVIDE SHOP DRAWINGS FOR DESIGNER APPROVAL FOR ALL TRADES PRIOR TO FABRICATION OR INSTALLATION. PHYSICAL SAMPLES OF ALL MATERIALS & FINISHES SHALL ALSO BE PROVIDED FOR DESIGNER APPROVAL.
- + GC SHALL BE RESPONSIBLE FOR A THOROUGH, FINAL CLEAN UP OF THE OVERALL JOB SITE PRIOR TO OWNER TAKEOVER DATE.
- + GC TO SCHEDULE FINAL WALK-THROUGH WITH DESIGNER & CLIENT TO DETERMINE ALL NECESSARY PUNCH LIST ITEMS TO BE COMPLETED PRIOR TO FINAL OWNER TAKEOVER DATE.
- + ALL WORK BY GC & SUBCONTRACTORS IS TO COMPLY WITH THE CODES & STANDARDS SET FORTH BY THE FOLLOWING AGENCIES & ORGANIZATIONS: ACI - AMERICAN CONCRETE INSTITUTE; AISC - AMERICAN INSTITUTE OF STEEL CONSTRUCTION; ANSI - AMERICAN NATIONAL STANDARDS INSTITUTE; ASHRAE - AMERICAN SOCIETY OF HEATING, REFRIGERATION & AIR CONDITIONING ENGINEERS; ASTM - AMERICAN SOCIETY FOR TESTING & MATERIALS; AWS - AMERICAN WELDING SOCIETY; ICBO - INTERNATIONAL CONFERENCE & BUILDING OFFICIALS; NEC - NATIONAL ELECTRICAL CODE, LATEST EDITION; NWMA - NATIONAL WOODWORK MANUFACTURER'S ASSOCIATION; OSHA - OCCUPATIONAL SAFETY & HEALTH STANDARDS, LATEST EDITION; SMACNA - SHEET METAL & AIR CONDITIONING CONTRACTOR'S NATIONAL ASSOCIATION; OSSC - OREGON STRUCTURAL SPECIALTY CODE, LATEST EDITION; UI - UNDERWRITERS LABORATORY, INC; UMC - UNIFORM MECHANICAL CODE, LATEST EDITION; UPC - UNIFORM PLUMBING CODE, LATEST EDITION.

**ABBREVIATIONS**

@	AT	IN	INCH
+/-	PLUS OR MINUS	INT	INTERIOR
ACT	ACOUSTICAL CEILING TILE	LAV	LAVATORY
ADD	ADDENDUM	LBS	POUNDS
ADD'L	ADDITIONAL	MAX	MAXIMUM
ADJ	ADJUSTABLE	MISC	MISCELLANEOUS
ADMIN	ADMINISTRATION	NA	NOT APPLICABLE
AFF	ABOVE FINISH FLOOR	NIC	NOT IN CONTRACT
ALT	ALTERNATE	NOM	NOMINAL
ALUM	ALUMINUM	NRC	NOISE REDUCTION COEFFICIENT
APPROX	APPROXIMATE	NTS	NOT TO SCALE
ARCH	ARCHITECTURAL	OC	ON CENTER
BLDG	BUILDING	PART	PARTITION
BSMT	BASEMENT	PLAM	PLASTIC LAMINATE
CAB	CABINET	PRELIM	PRELIMINARY
CATV	CABLE TELEVISION	REC	RECESSED
CH	CEILING HEIGHT	REF	REFRIGERATOR
CL	CENTER LINE	REQD	REQUIRED
CLG	CEILING	REV	REVISION
CLO	CLOSET	RM	ROOM
CONC	CONCRETE	RO	ROUGH OPENING
CONF	CONFERENCE	SCHED	SCHEDULE
COR	CORRIDOR	SIM	SIMILAR
CPT	CARPET	SPEC	SPECIFICATION
D	DEPTH OR DEEP	SQ	SQUARE
DEMO	DEMOLITION	SS	STAINLESS STEEL
DEPT	DEPARTMENT	ST	STREET
DIA	DIAMETER	STC	SOUND TRANSMISSION COEFFICIENT
DIM	DIMENSION	STD	STANDARD
DIST	DISTANCE	STRUC	STRUCTURAL
DN	DOWN	STOR	STORAGE
EA	EACH	SYM	SYMMETRICAL
ELEC	ELECTRICAL	TEL	TELEPHONE
ELEV	ELEVATION	TEMP	TEMPERATURE
EQ	EQUAL	T&G	TONGUE & GROOVE
EQUIP	EQUIPMENT	THRES	THRESHOLD
EXT	EXISTING	TRANS	TRANSFORMER
FE	FIRE EXTINGUISHER	TV	TELEVISION
FT	FOOT OR FEET	TYP	TYPICAL
FTG	FOOTING	UNO	UNLESS OTHERWISE NOTED
GA	GAUGE	VENT	VENTILATION
GEN	GENERAL	W	WIDTH OR WIDE
GL	GLAZING	W/O	WITHOUT
GYP	GYPSON WALL BOARD	WC	WATER CLOSET
H	HEIGHT OR HIGH	WH	WATER HEATER
HORIZ	HORIZONTAL	WT	WEIGHT
HVAC	HEATING/VENTILATION/AIR CONDITIONING	YD	YARD

VERSION:

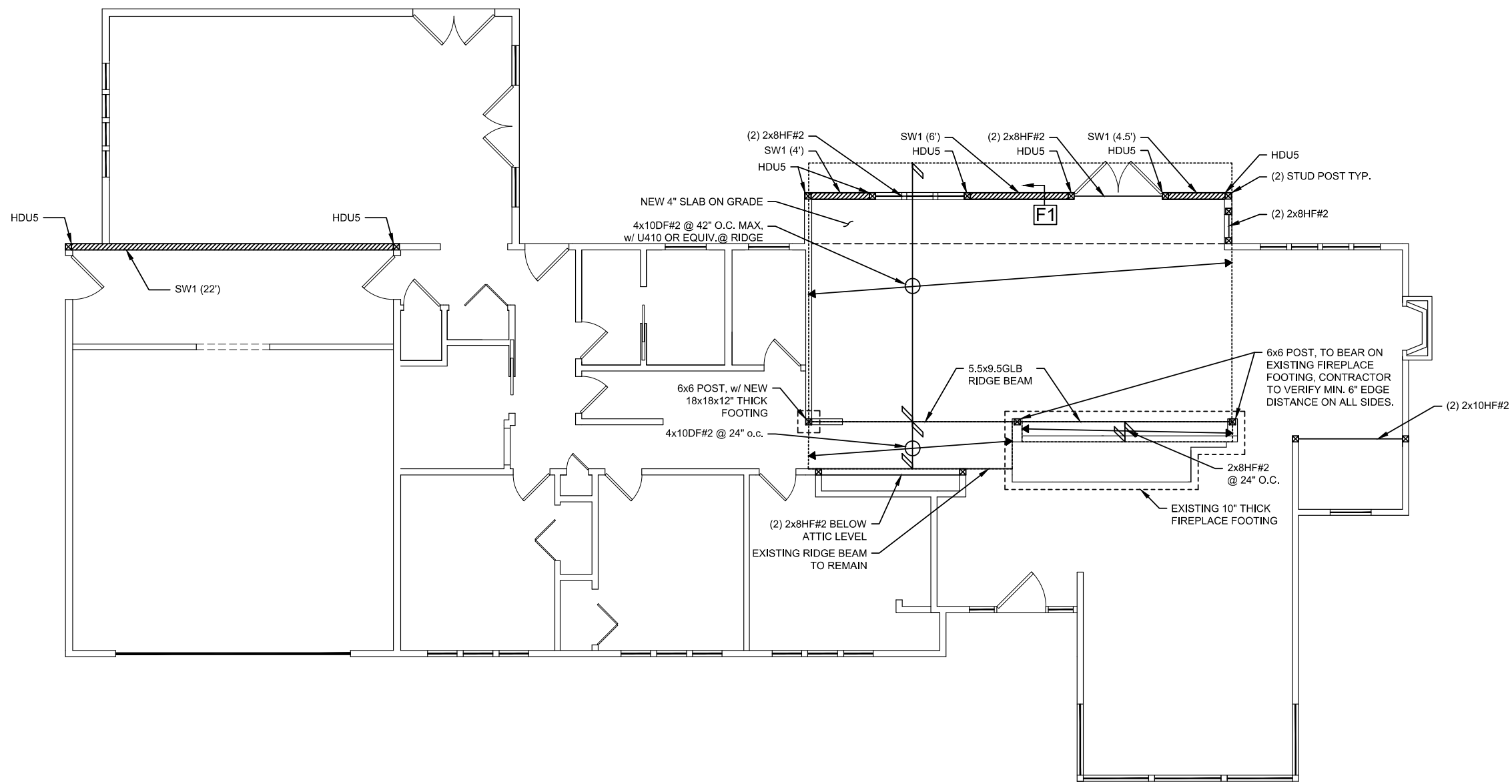
**PERMIT SET**

DATE:

6.21.2021

SHEET NUMBER & TITLE:

**A 0.01B**  
GENERAL NOTES



1 ADDITION ROOF & FOUNDATION PLAN

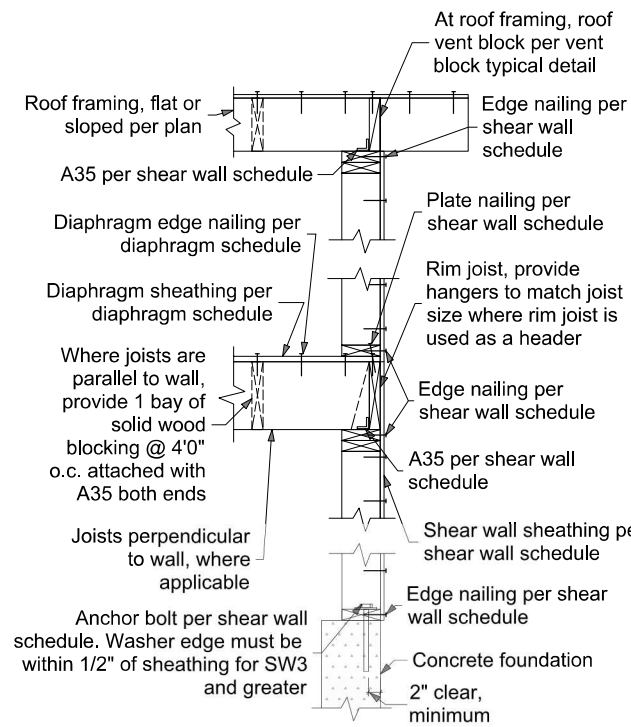
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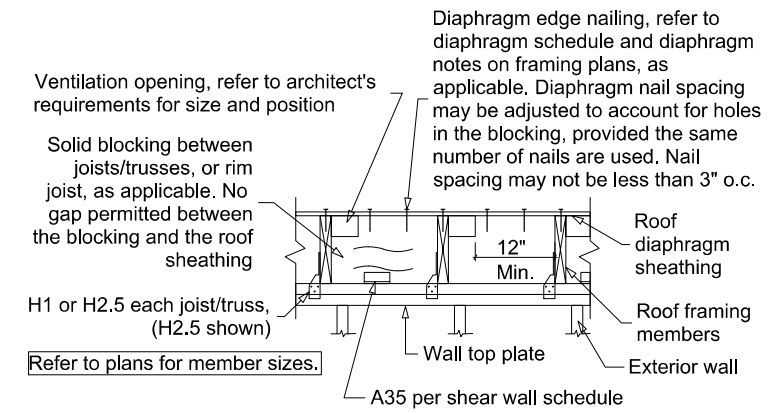
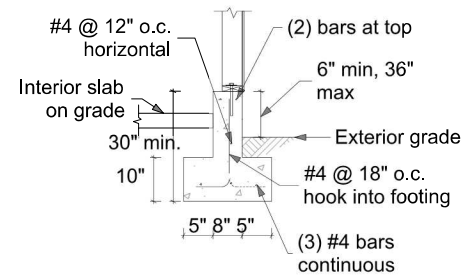
Consulting Structural Engineering Services  
 6311 17th Ave NE, Seattle, WA 98115  
 Phone: 206-527-1288  
 Email: john@eses-engineering.com

**Eberhard Addition & Remodel**  
 6215 86th Ave SE  
 Mercer Island, WA 98040

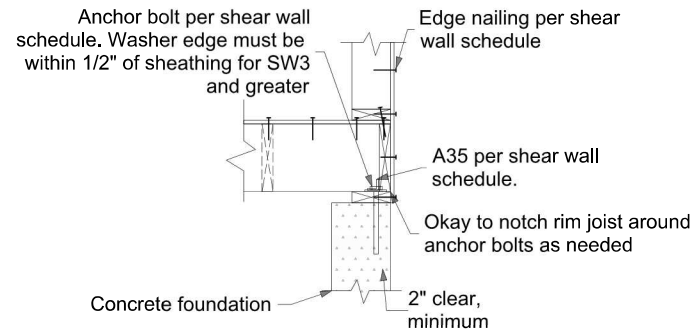
Revisions:
Date: 12/18/20
Sheet: <b>S1</b>



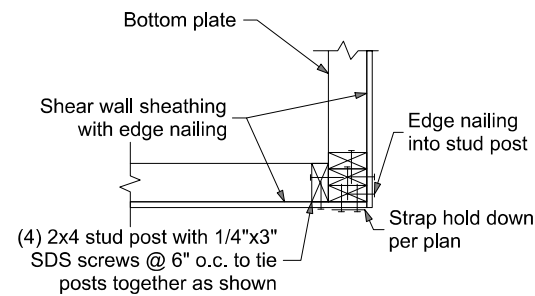
F1 | Exterior Footing with Slab on Grade Detail  
1/2" = 1'-0"



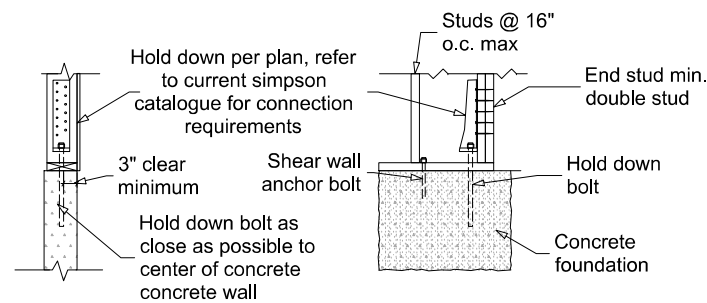
R1 | Roof Ventilation Typical Detail  
1" = 1'-0"



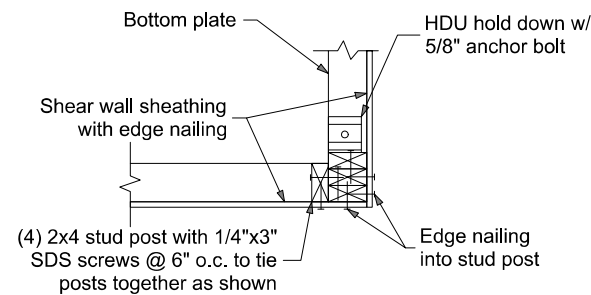
SW1 | Alternate Condition Exterior Shear Wall Framing Typical Detail  
1" = 1'-0"



Strap Hold Down Configuration



HD1 | Retrofit HDU Hold Down Typical Detail  
3/4" = 1'-0"



HD2 | Corner Hold Down Detail  
1 1/2" = 1'-0"

## Structural Notes:

### Applicable Codes and Standards:

2015 International Building Code (IBC) and other applicable local building codes.  
ASCE/SEI 7-10 - "Minimum Design Loads for Buildings and Other Structures"  
2015 NDS for wood structures.  
American Wood Preservers Bureau - AWPB Standards for Pressure Treated Material.  
American Concrete Institute - ACI 315, ACI 318, ACI 301, ACI 307.

Structural design shall be in accordance with the latest edition of above codes and standards.  
Contractor shall comply with the latest edition of all applicable codes and standards.

### Design Loads:

Live load:	roof	25 psf (snow)
	floors	40 psf
Dead load:	solar panels	4 psf

Wind load:	Basic wind speed	110 mph, exposure B, KzT=1.60
	Building Category:	Enclosed, Wind Important Factor Iw = 1.0
		Refer to calculation page L1 for design wind forces.
		Internal pressure 5 psf, Components and cladding design per 1609.6.4.4.1

Seismic loading per IBC Section 1613, Site Class D.

The basic structural type is a bearing wall system with light framed walls with shear panels.  
Rw = 6.5 (wood structural panels), soil type D.  
Seismic importance factor 1.0, Seismic Use Group I  
Design and Analysis by Simplified Design Procedure  
Peak Ground Accelerations (PGA) based on USGS Hazards Program, by lat/long.  
PGA 1 sec = .506 PGA .2 sec = 1.461  
Seismic base shear = 0.150 \* Dead Load

### Foundations:

Soil parameters (assumed): Vertical allowable soil pressure: 1,500 psf  
All soil conditions are to be field verified during construction. Footings shall bear on firm natural soils or on structural fill placed over firm natural soils, and inspected in place. Footings shall extend 18 inches minimum below adjacent exterior finished grade and shall extend 12 inches minimum below existing interior grade unless otherwise noted on plans. Structural fill shall be placed in 12-inch maximum horizontal lifts (loose thickness) and compacted to 90 percent of maximum dry density in accordance with ASTM D-1557. Imported structural fill shall be granular material containing no more than 5 percent fines, passing no . 200 sieve. Structural fill in place shall be tested by a licensed soil engineer or approved by the building inspector.

Drainage behind the concrete walls shall be provided conforming to the construction details.

### Cast in Place Concrete:

Concrete shall attain a minimum compressive strength of 2,500 psi at 28 days (5-1/2 sack mix). An alternate mix provided by the concrete supplier and pre-approved by the building department is acceptable. Reinforcing steel shall conform to ASTM A-615, Grade 60 (Fy=60,000 psi) for all bars.

Provide all wall and footing horizontal bars with 2'-0" x 2'-0" corner bars of the same size at all corners and wall intersections. Minimum lap splice 48 bar diameters.

Concrete protection for reinforcement shall be:	
Concrete exposed to earth or weather	1.5" (#5 & smaller) 2" (#6 & larger)
Concrete cast against earth	3"
Slabs	0.75"

### Wood Framing Specifications:

All sill plates and other wood framing which is in contact with concrete or masonry must be preservative-treated in accordance with AWPB U1 and M4 standards. For anchor bolts connecting wood sill plates to concrete or masonry, provide galvanized steel washers and nuts on top of the sill, minimum washer size 3" x 3" x 1/4" thick.

Where toenails are used for stud wall construction, a minimum of (2) toenails at top and bottom of each stud shall be provided. Toenails shall be 16d nails driven at approximately a 45 degree angle, with a minimum of 1-1/2" of the nail shank shall be embedded in both the stud and the plate. End nails driven through the plate and into the stud end grain are not permitted. Simpson A34 clips at top and bottom of each stud are permitted where correct toenailing is not provided.

Wherever joists bear on a wall or beam, either a continuous rim joist or solid wood blocking must be provided. Blocking shall be connected to the joists with A35 angles at each end. Individual blocks may be omitted to allow for ducting or other openings. Consult with the engineer of record if more than 25% of the blocking is omitted.

Where LVLs are specified with a thickness greater than 1-3/4", the beam may be built up out of multiple 1-3/4" LVL beams connected per truss-joist TJ-9000 specifier's guide.

Unless noted otherwise, the following grades and species shall be used for structural lumber:

2x joists	Hem-Fir #2
2x, 3x, and 4x studs	Hem-Fir #2 standard for plywood or WSP shear walls
	Hem-Fir standard for other walls
4x and 6x beams	DF-L #2
Microllam LVL lumber	LVL 1.9E, Fb = 2600 psi, Fv = 285 psi (minimums)
Parallam lumber	2.0 WS, Fb = 2900 psi, Fv = 290 psi (minimums)
Glu-lam lumber	24F-V4 for simple span beams, 24F-V8 for cantilever beams

All framing connections shall be per Table 2304.9.1 of the IBC, unless otherwise noted.

### Preservative-Treated Wood and Fasteners:

All wood in contact with concrete or masonry shall be preservative-treated, in accordance with AWPB U1 and M4 standards.

All fasteners installed in preservative-treated wood shall be hotdipped zinc-coated galvanized with a minimum coating weight complying with ASTM A 153.

Fasteners other than nails and timber rivets are permitted to be mechanically deposited zinc-coated with coating weights complying with ASTM B 695, Class 55 minimum. Plain carbon steel fasteners in wood preserved-treated with SBX/DOT or zinc borate are not required to be galvanized.

### Plywood Thickness, Grade, and Nailing:

Install plywood sheets with face grain perpendicular to framing. Stagger joints in adjacent sheets. If not otherwise noted, use nailing schedule, Table 2304.6.1 of the IBC.

### Metal Framing Connectors:

Unless otherwise noted: Metal framing connectors shall be manufactured by the Simpson company, or approved equal. Unless noted otherwise, use U-series joist hangers to match joist size (e.g., U210 for 2x10 joist). Provide H1 or H2.5 hurricane ties, or other connectors with similar capacity, at every roof joist or truss, and H6 or H7 at ends of roof beams and girder trusses. Where supported by wood posts, wood beams shall be connected to the tops of the posts using Simpson AC, PCZ or EPCZ post caps, and to the bottoms of the posts bearing on wood framing using Simpson AC connectors. Where supported by perpendicular beams, wood beams shall be connected by HU-series face mount beam hangers. Provide Simpson AB or PB post bases to connect posts to concrete foundations. Unless otherwise specified, the maximum number of nails or screws should always be installed on any connector.

### Bearing Walls:

All walls supported by continuous concrete footings shall be connected to the foundation per 2015 IRC section 403.1.6. 1/2" diameter anchor bolts shall be provided at 4' o.c., or two per wall segment, minimum. Anchor bolts shall penetrate 7" into the concrete foundation.

### Connection of New Foundation to Existing, Note NF:

At each location where the new concrete foundation abuts the existing foundation, connect the new to the existing using minimum (3) #4 by 18" long rebar dowels, epoxy grouted into 5/8" diameter by 5" deep holes drilled into the existing foundation. Each dowel shall be no closer than 3" to any edge or corner of concrete. Minimum spacing between dowels shall be 6". For concrete wall intersections longer than 3'-0" in any direction, additional dowels shall be located at 12" o.c. for the full height or length of the new foundation concrete.

Contact the engineer (prior to construction) for evaluation and approval of the existing foundation system, if there are any significant cracks in the existing foundation within 6 feet of the new foundation, or if there is any indication that the existing foundation is in poor condition, including visible rock pockets, non-uniform concrete, spalling, noticeable settlement of the existing footing, or other distress.

### Hold Down Notes

Convention for showing shear walls and hold downs: Shear walls are shown on the framing plan for the floor above. (For example, first floor shear walls will be shown on the second floor framing plan, and the shear walls for the topmost floor will be shown on the roof framing plan.) Hold downs are located at the bottom of that shear wall, and connect the end of the shear wall to wall framing or a structural beam located in the floor below the shear wall. Contact the engineer of record for clarification if needed.

Hold downs for each floor must be continuously connected to hold downs on the floor below (or to other intermediate wood framing where so indicated), until they are finally connected to the concrete foundation.

Hold downs shall be installed so as to be as far apart as is reasonable. Hold downs may be located on either the near side or the far side of the post or double stud to which they are attached. In no case shall a hold down bolt be located farther than 6" from the end of the shear wall, except with prior written approval of the engineer. Refer to the latest edition of the Simpson Catalog for details.

Where multiple studs are called out at a hold down, nail studs together with (2) 16d nails at 8" o.c. or 1/4" x 3" Simpson SDS Screws at 12" o.c.

### Rod Hold Downs:

HDUx denotes a Simpson HDU(2,4,5,8,or 11)-SDS2.5 hold down. For hold down bolts at existing concrete foundations, use the following bolts:

For HDU2,4,5: 5/8" diameter A307 threaded steel rod may be used, which shall be epoxy grouted into a 3/4" diameter hole with a minimum embedment of 10".

For hold downs at new concrete foundations, provide the following bolts.

For HDU2,4,5: Simpson SB5/8x24 may be used, installed per the most recent edition of the Simpson Strong-Tie Literature.

### Special Note:

All holes for hold down bolts which are installed into existing foundations must be inspected during the installation of the hold down. Either the building inspector, the structural engineer of record, or the special inspection agency must perform the inspection and approve it before the bolts may be epoxy grouted into the holes. The epoxy grout used must be Simpson SET-XP unless otherwise noted by the engineer of record.

For drilled holes into existing concrete, no less than 2" must be provided between the edge of the hole and the face of concrete. The Engineer of Record or Special Inspector must witness the installation of hold down bolts, including cleaning the holes with compressed air and a wire brush before the anchor is installed. The hole shall be filled with enough epoxy that when the anchor is inserted, the epoxy rises to the top of the concrete. Care shall be taken that no air bubbles persist in the epoxy.

The contractor must verify that the existing foundation stem wall is uncracked and continuous, and is sound and in good condition, within 5 feet of any retrofitted shear wall or hold down, in any direction, except with prior written approval of the engineer. The existing concrete foundation stem wall shall be at least 6" thick and 2'-6" in height. The concrete shall be of good quality, hard and uniform, with appropriate aggregate type, size and distribution, and with no visible rock pockets or other similar deficiencies.

Any existing cracks located within 10' of any hold down must be completely filled with an appropriate epoxy based concrete repair product. The product to be used shall be approved in writing by the engineer prior to filling the cracks.

Contact the engineer of record prior to proceeding if any of these requirements are not met, or if the installation of the hold downs results in any visible damage to the existing foundation.

## SHEAR WALL SCHEDULE

(Lumber for shear walls is HF#2 or better, unless otherwise noted.)

Type Material	Edge Nailing	Field Nailing	A.B. Size/Spacing	Plate Nailing	A35 Spacing	Shear Capacity
Unblocked Wall	15/32" WSP one side, unblocked	8d @ 6" 8d @ 12"	1/2"Ø @ 72" (2)	16d @ 12" 2x_24"		100 plf
SW1	15/32" WSP one side	8d @ 6" 8d @ 12"	1/2"Ø @ 48" (2)	16d @ 9" 2x_24"		230 plf

For shear wall callouts on the Structural Framing Plans: SW x (y') denotes a shear wall type "x" with a minimum length of "y" feet.

- "WSP" refers to "Wood Structural Panel", either plywood or other wood materials.
- Provide double stud minimum at both ends of all shear walls.
- At the roof or top level of any shear wall, "A35 spacing", and all other relevant connector specifications, apply to assemblies at both the top and bottom of the shear wall. At lower levels, apply to the bottom of the wall only.
- Provide floor diaphragm edge nailing per diaphragm schedule through floor plywood into blocking, parallel joist framing, or top plates (whichever applies) of all shear walls.
- Where shear wall edge nails are spaced closer than 3" o.c., or spaced 3" o.c. with 10d nails, foundation sill plates and all framing members receiving edge nailing from abutting panels shall not be less than a single 3x\_member.
- Where panels are applied on the same face of a wall and nail spacing is less than 6 inches o.c. on either side, panel joints shall be offset horizontally and vertically to fall on different framing members, or all framing supporting panel edges shall consist of 3 inch nominal or thicker members and the position of nails on each side shall be staggered vertically.
- Provide 4x\_ or double 2x\_ framing where A35 angles are used on both sides of one piece of wood.
- Shear wall nails shall be placed no closer than 3/8" from a panel edge or perpendicular face of stud.
- Maximum spacing between nails shall not exceed 12".
- Shear wall nailing shall be common or galvanized box nails, unless lag screws are noted. Galvanized nails shall be hot dipped or tumbled.

- Where hold downs are specified, the shear wall bolt shall be located within 6 inches of the end of the shear wall, unless otherwise approved by the engineer of record. Minimum end studs shall be as specified in the most recent Simpson catalog.
- Shear wall edge nailing through shear wall sheathing shall be provided into all studs attached to a hold down.
- Retrofit anchor bolts shall have a minimum embedment of 5" into the concrete foundation.
- Cast in place anchor bolts shall have a minimum embedment of 7" into the concrete foundation.
- Plate nails shall be nailed into a solid wood rim joist.
- 2x\_ plates may be substituted for 3x\_ plates if panels are nailed with edge nailing directly to the rim joist.
- Where Roof ventilation is required over a shear wall, see roof ventilation detail.

## Diaphragm Schedule

(Lumber for diaphragm construction is HF#2 or better, unless otherwise noted.)

Type Roof	Material	Edge Nailing	Field Nailing	Edge Blocking	Remarks
	1 1/8" CDX 24/0	8d @ 6" o.c.	8d @ 12" o.c.	no	Minimum Standard
• "WSP" refers to "Wood Structural Panel", either plywood or other wood materials.					
• Rim joists at exterior walls shall be continuous for tension. At rim joist splice locations, provide (2) CS16 horizontal straps, minimum 24"					
• Where roof or floor framing is cantilevered over an exterior wall below, provide solid blocking with Diaphragm edge nailing between joists. In this condition, CS16 horizontal straps shall be provided at the wall top plate splices.					
• This is the minimum required diaphragm construction. Where otherwise noted on the plans, additional blocking or nailing may be required.					

PROPERTY LINE

177'-2 3/4"

PROPERTY LINE  
103'-0"

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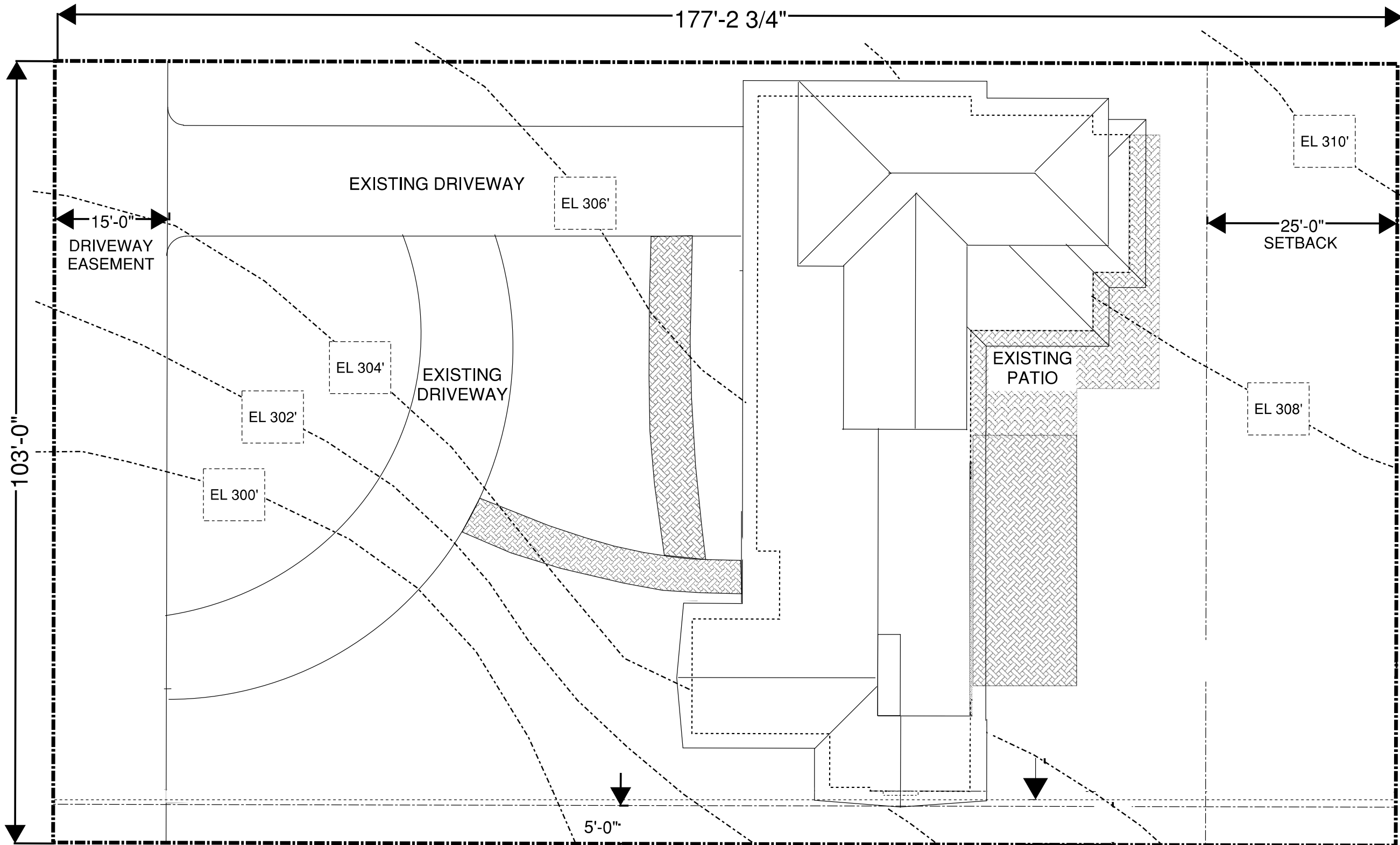
2636 NE SANDY BLVD, SUITE B  
PORTLAND, OR 97232

CONTACT INFO:

TEL: (503) 919-1841  
EMAIL: casey@casework.it

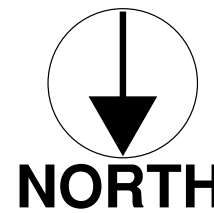
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5'-0"  
SETBACK REQUIRED  
AT ORIGINAL  
CONSTRUCTION

5.78' SETBACK PER CODE



PROJECT INFO:

SARAH GELMAN + PARKER EBERHARD  
6215 86TH AVE SE  
MERCER ISLAND, WA 98480

SCALE:

1" = 10'-0"

VERSION:

**PERMIT SET**

DATE:

6.21.2021

SHEET NUMBER & TITLE:

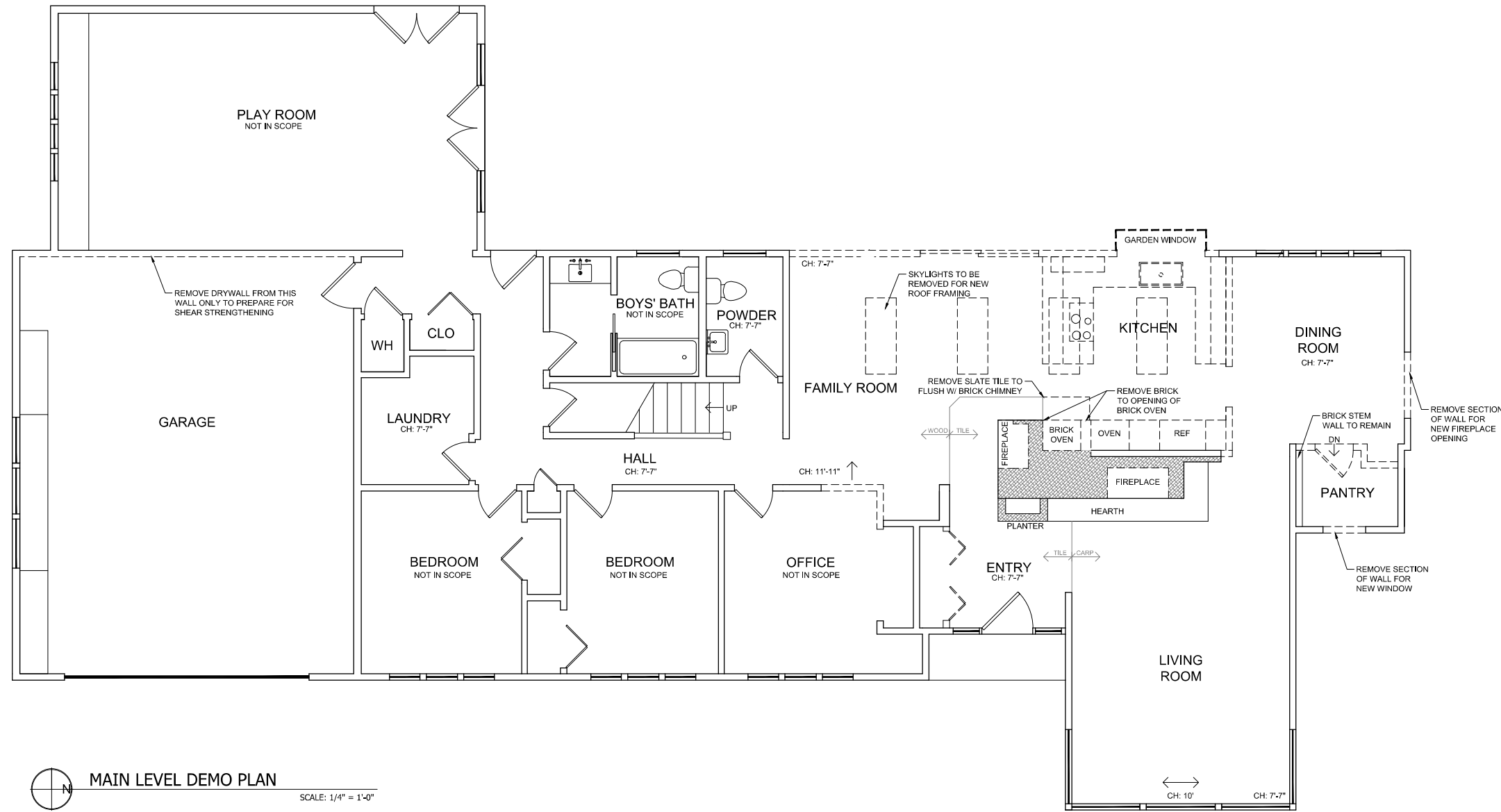
**A 1.01**  
SITE PLAN



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NOTES:

- COVER/PROTECT EXISTING MAIN ENTRY FLOORING.



MAIN LEVEL DEMO PLAN

SCALE: 1/4" = 1'-0"

LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED

PROJECT INFO:

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6215 86TH AVE SE  
MERCER ISLAND, WA 98480

SCALE:

1/4" = 1'-0"

VERSION:

PERMIT SET

DATE:

6.21.2021

SHEET NUMBER & TITLE:

A 2.01  
DEMO PLAN

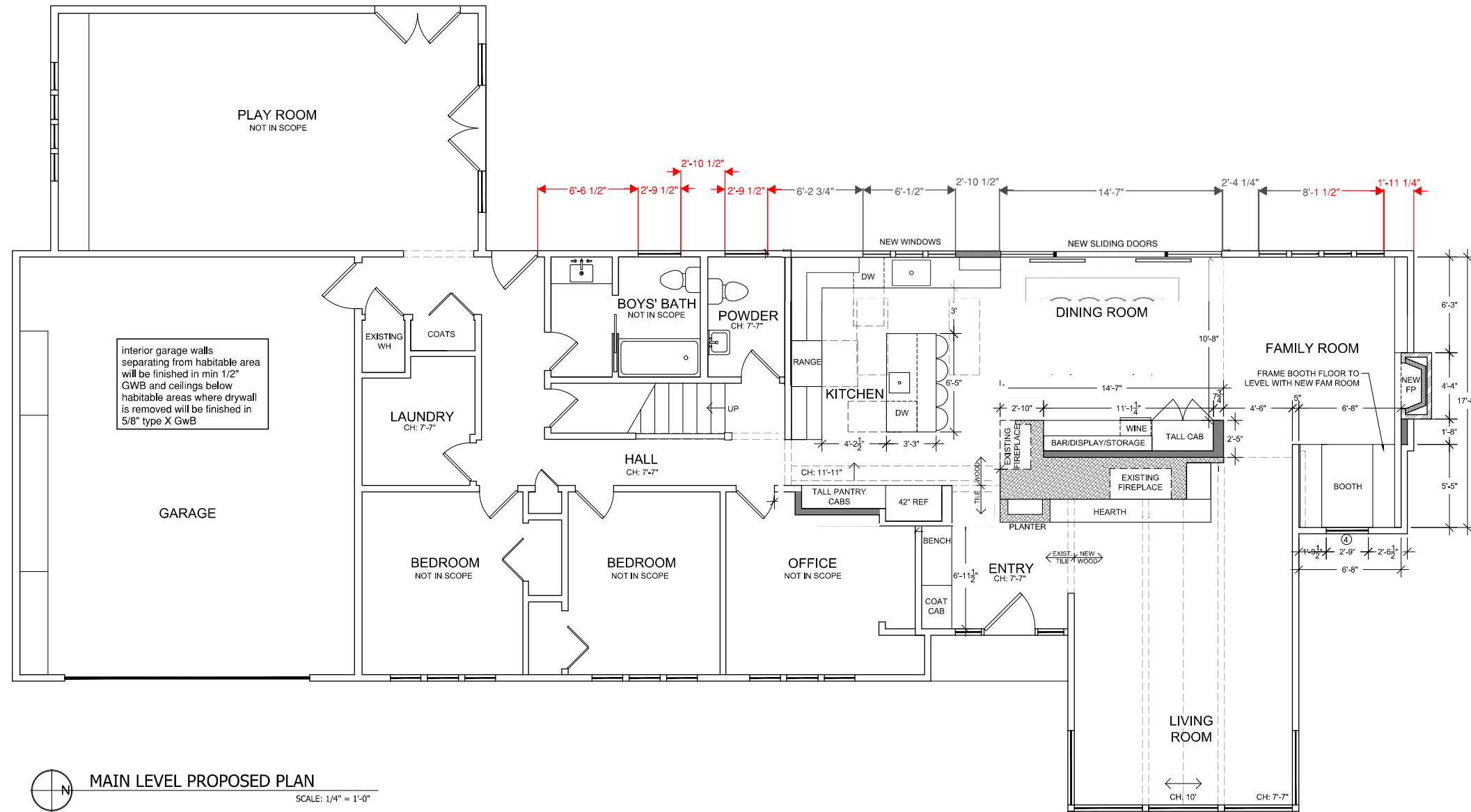


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interior garage walls separating from habitable area will be finished in min 1/2" GwB and ceilings below habitable areas where drywall is removed will be finished in 5/8" type X GwB

**NOTES:**

1. ALL DIMENSIONS ARE FROM FINISHED FACE UNLESS NOTED OTHERWISE.
2. ALIGN THE FACE OF ALL FINISHES THROUGHOUT TO MATCH ANY EXISTING FINISHES.
3. PROVIDE BLOCKING IN NEW WALLS FOR ALL WALL MOUNTED SHELVING AND CASEWORK AS NECESSARY.
4. PATCH & REPAIR DRYWALL AND TRIM AFTER DEMO AS NEEDED TO MATCH EXISTING AS REQUIRED.
5. RELOCATE EXISTING HVAC VENT LOCATIONS WHERE APPLICABLE. CONTRACTOR TO DETERMINE NEW PLACEMENT & COORDINATE WITH DESIGN TEAM. PROVIDE MATCHING WOOD GRILL AT ALL WOOD FLOORS. PROVIDE METAL GRILL AT TILE FLOORS.
6. WHERE NEW WINDOWS AND DOORS OCCUR MATCH EXISTING TRIM PROFILE.
7. WHERE NEW WALLS OCCUR MATCH EXISTING BASEBOARD.
8. PAINT/FINISH NEW EXTERIOR SIDING TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO TRIM, EAVES AND GUTTERS. WHERE DEMO AND NEW WINDOWS OR DOORS OCCUR, PAINT/FINISH ENTIRE FACE OF WALL TO BLEND WITH EXISTING.

**MAIN LEVEL PROPOSED PLAN**  
SCALE: 1/4" = 1'-0"

EXISTING EXTERIOR WALL LENGTH: 294'-6"  
LENGTH OF EXTERIOR WALL BEING ALTERED: 32'-4"  
PERCENTAGE OF EXTERIOR WALL BEING ALTERED: 11%

**LEGEND:**

- EXISTING WALL TO REMAIN
- NEW WALL FINISHED TO MATCH EXISTING
- EXISTING DOOR OPENING TO REMAIN
- NEW DOOR OPENING
- EXISTING WINDOW OPENING TO REMAIN
- NEW WINDOW OPENING

**PROJECT INFO:**

SARAH GELMAN + PARKER EBERHARD  
6215 86TH AVE SE  
MERCER ISLAND, WA 98480

**SCALE:**

1/4" = 1'-0"

**VERSION:**

**PERMIT SET**

**DATE:**

6.21.2021

**SHEET NUMBER & TITLE:**

**A 3.01**  
CONSTRUCTION PLAN

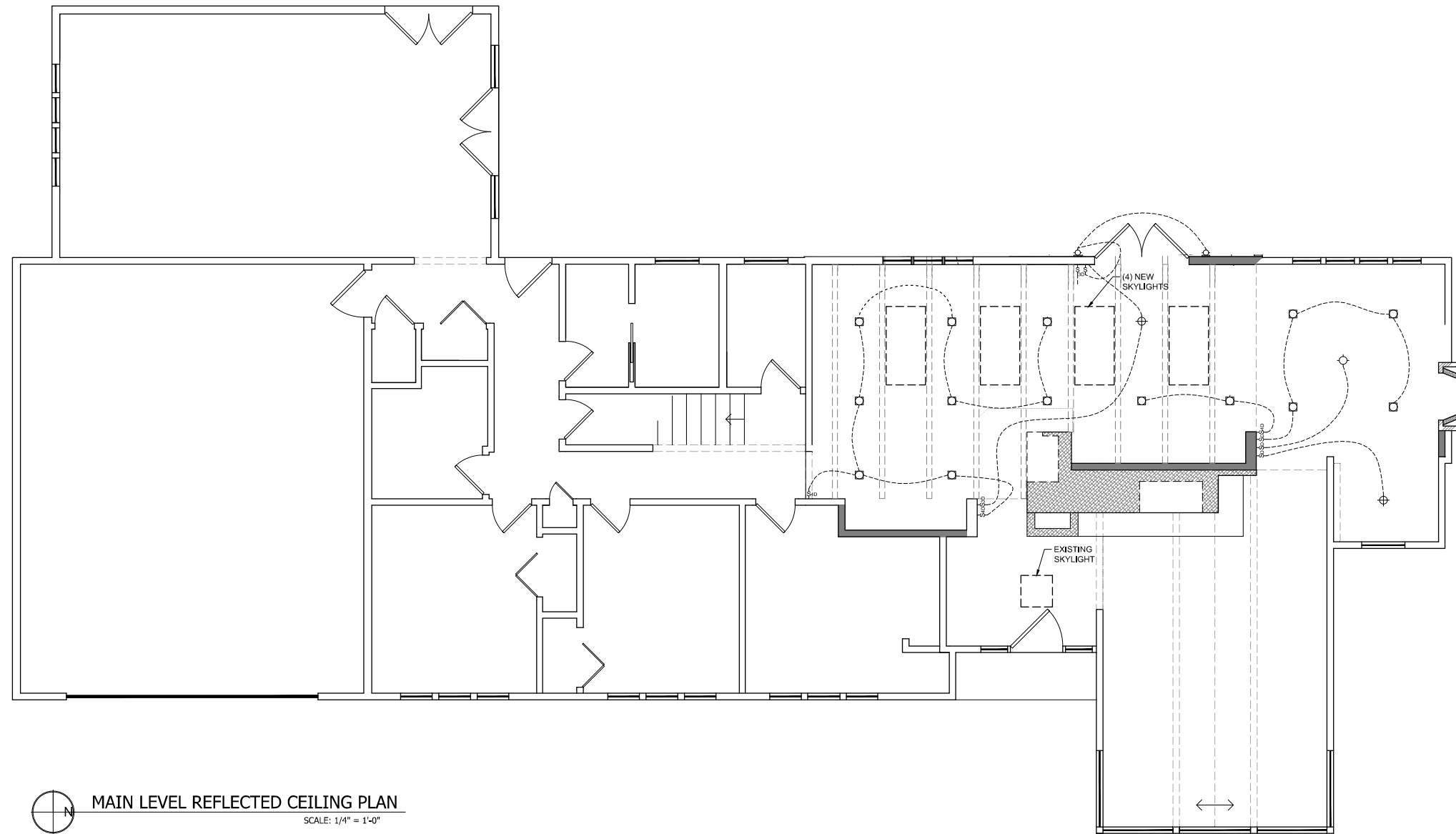




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**NOTES:**

1. ALL DIMENSIONS ARE FROM FINISHED FACE UNLESS NOTED OTHERWISE.
2. ALL NEW SWITCHES TO BE ON DIMMER SWITCHES, UNLESS OTHERWISE NOTED.
3. PROVIDE HARDWIRED SMOKE AND CARBON MONOXIDE ALARMS PER CODE.
4. CONTRACTOR TO COORDINATE KITCHEN/DINING ROOM LIGHT FIXTURE PLACEMENT WITH DESIGNER IN REGARD TO BEAM LOCATION.

**LEGEND:**

- 4" CAN LIGHT
- SURFACE MOUNT LIGHT
- ⊕ PENDANT LIGHT
- ⊖ WALL SCONCE
- ⊖ DIMMER SWITCH - 42" CENTER, AFF
- ⊖ 3 WAY SWITCH - 42" CENTER, AFF
- ⊖ 3 WAY DIMMER SWITCH, 42" CENTER, AFF
- REPLACE FIXTURE IN EXISTING LOCATION

**MAIN LEVEL REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

**PROJECT INFO:**

SARAH GELMAN + PARKER EBERHARD  
6215 86TH AVE SE  
MERCER ISLAND, WA 98480

**SCALE:**

1/4" = 1'-0"

**VERSION:**

**PERMIT SET**

**DATE:**

6.21.2021

**SHEET NUMBER & TITLE:**

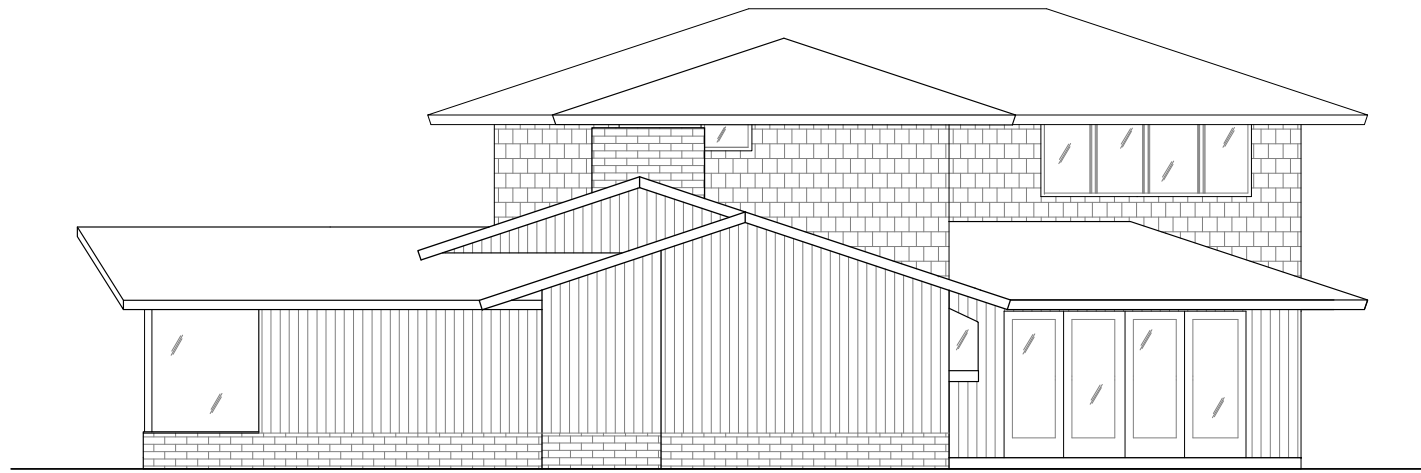
**A 3.02**  
REFLECTED CEILING PLAN



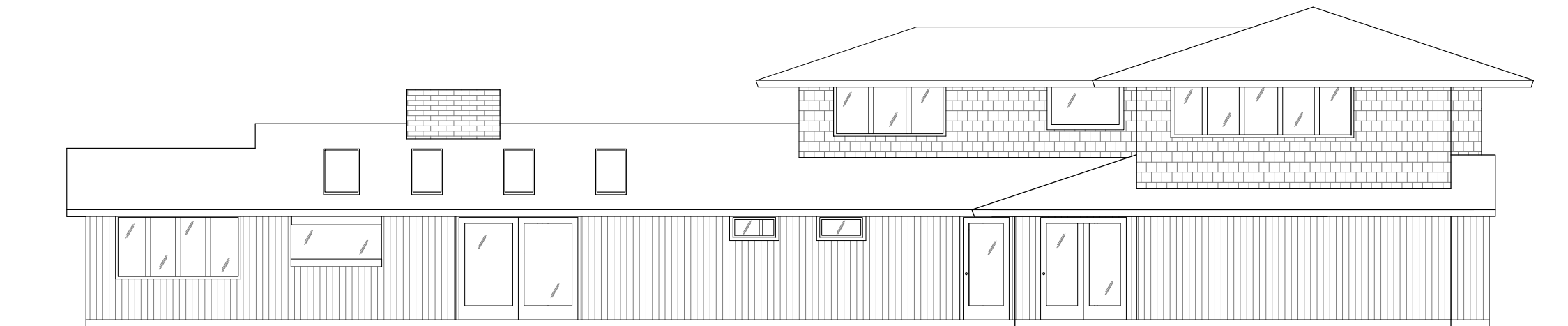
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1 EXISTING - NORTH EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



2 EXISTING - WEST EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

PROJECT INFO:

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6215 86TH AVE SE  
MERCER ISLAND, WA 98480

SCALE:

1/4" = 1'-0"

VERSION:

PERMIT SET

DATE:

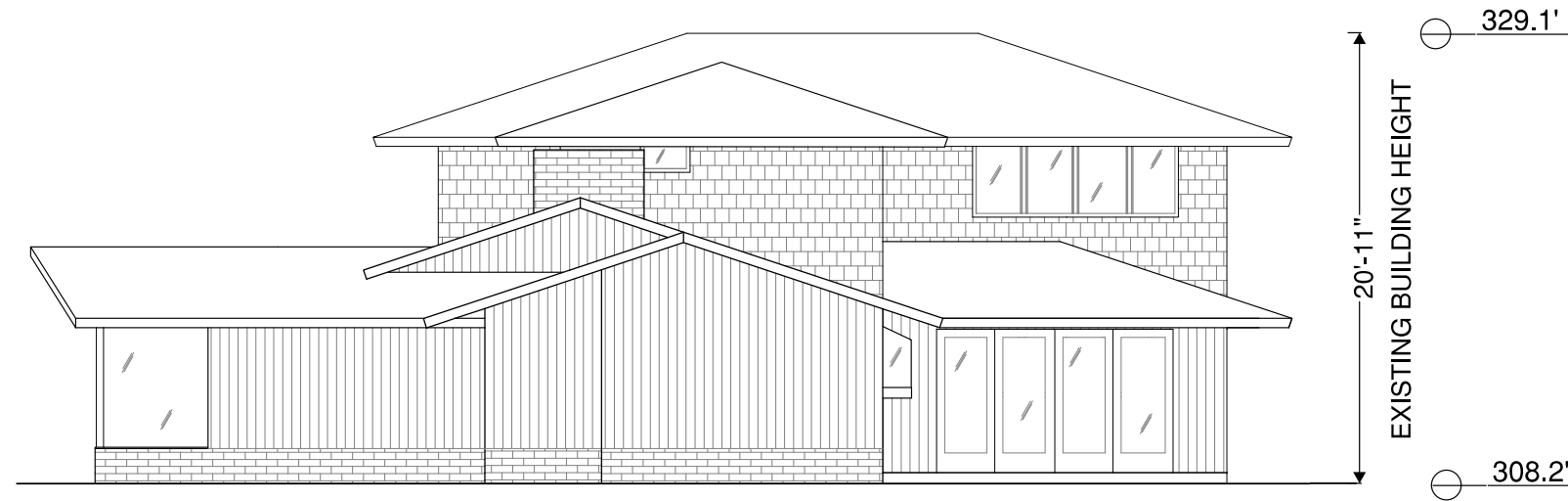
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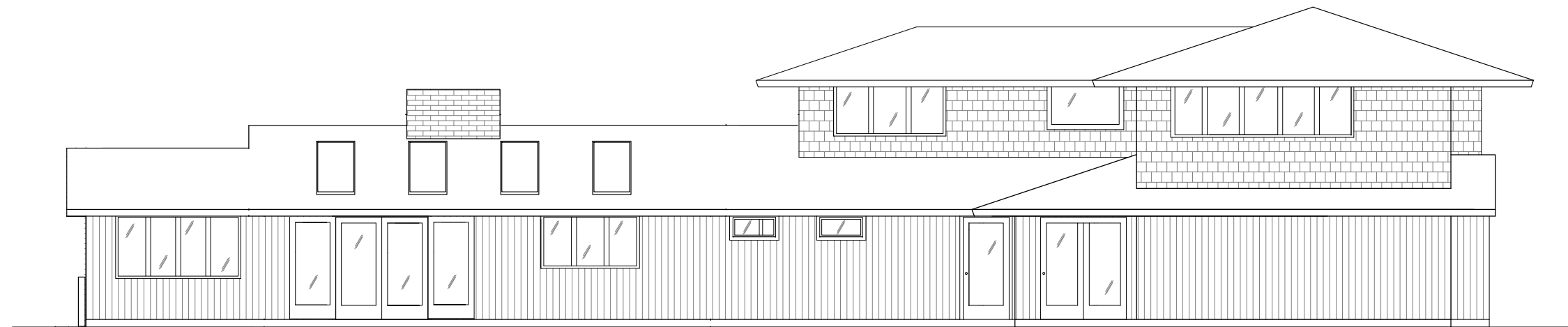
A 3.10  
EXTERIOR ELEVATIONS



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1 PROPOSED - NORTH EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED - WEST EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"